



Village of Thiensville Architectural Guidelines

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Thiensville Village Master Plan Architectural Guidelines

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Thiensville Village Master Plan

Architectural Guidelines

Introduction

This book is intended to assist property owners, developers, and designers as they develop projects in the Thiensville Village Center Business District. It includes information on the building and site design, aesthetics, materials and features that have been identified as integral parts of the Village character. Review of this Guide while planning a project will aid the developer and designer in complying with the requirements of the Village's Architectural Guideline, and help to make informed decisions regarding the planning, orientation, design and development of projects to coordinate with the existing portions of the Village. The goal of the Architectural Guideline is to provide a framework within which all buildings will be 'good neighbors', while retaining their individuality and distinctiveness.

The style and character of a small town such as Thiensville is a popular, marketable asset to residents and businesses alike, providing a clear sense of place, and offering a familiar, welcoming appearance to residents and visitors. A comfortably scaled, pedestrian oriented neighborhood such as exists in the vicinity, when augmented by intelligent integration of vehicular traffic and parking, can result in a pleasant, vibrant commercial neighborhood. Recent trends have indicated a renewed interest in neighborhood retail activity in districts which accommodate the automobile adequately, but pay special attention to the needs of the pedestrian. Thiensville's Master Plan, and this guideline, have been established to help strengthen and guide development in appropriate directions.

The Architectural Guideline has specifically been developed to help maintain and strengthen Thiensville's existing character and sense of place, especially with regard to the Downtown Business District. It draws upon much of the built environment of the Village as has been developed over the years. Thiensville's character exists intact in many examples in the Village Center and nearby neighborhoods, and developers, owners and designers are encouraged to tour the district and review the Village's existing buildings to familiarize themselves with the character.

Many of the illustrations and examples shown in this guideline are taken from existing buildings. While this serves well to indicate the desired nature of buildings and remodeling, it is not intended to require designers to recreate historic architectural styles or construction. Projects are encouraged to take advantage of current construction methods and materials, and interpret the desired design elements in ways appropriate to their specific project.

Thiensville Village Master Plan Architectural Guidelines

Review Process

Before proceeding with plan development, applicants should obtain copies of the Village Ordinances, the Village Architectural Guideline, and the Project Review Checklist. A project must be designed to adhere to these requirements. Of course, compliance with all other State, County, and Federal construction codes will also be required, and will be reviewed by the appropriate authorities.

The Project Review Checklist is intended to aid an applicant in reviewing a potential project for conformance to the Architectural Guideline. As a guideline, a project designed to meet 80% or more of the guidelines in the Checklist is likely to be approved upon review by the Plan Commission and/or the Historic Preservation Commission. Projects that meet less than the 80% may be approved upon review by the Commission, with the project's overall impact upon the neighborhood and the community ^{will be} evaluated based upon the following criteria:

- 1. Preservation of Intent.** Approval of the project would not be inconsistent with the spirit, purpose and intent of the regulations.
- 2. Exceptional Circumstances.** Exceptional, extraordinary, or unusual circumstances or conditions apply to the project that do not apply generally to other properties in the district.
- 3. Preservation of Property Rights.** The approval is necessary for the preservation and utilization of the same property rights which are possessed and exhibited by other properties in the district.
- 4. Absence of Detriment.** The approval will not create substantial detriment to adjacent property, and will not materially impair or be contrary to the spirit, purpose, and intent of the Architectural Guideline.
- 5. Hardship.** The alleged difficulty or hardship cannot be self imposed, nor can it be based solely on economic grounds.

An Architectural Review Checklist, completed by the Applicant, may be submitted at the same time as other materials are submitted for Village approval.

Architectural Review Board

The Plan Commission will review submittals for compliance with the Architectural Guidelines in the course of reviewing projects for compliance with all other Village Regulations, including the zoning code and the Historic Preservation Code.

Thiensville Village Master Plan Architectural Guidelines

Review Process

Applicability of Code

These Guidelines apply to a zoning overlay district, primarily encompassing Thiensville's Village Center Business District, as delineated by the Plan Commission, and subject to revision from time to time. A boundary diagram will be available from the Village Planner's Office. Remodelings are to maintain and be respectful of the desired character as exemplified by local buildings.

The suggestions and requirements outlined and illustrated in this document are intended to be applied to all projects in Thiensville's Village Center. New buildings are to comply fully with the requirements herein.

All buildings are required to comply with all existing State, Federal, and Local regulations, including any applicable easements or Rights-of-Way.

Buildings or lots adjacent to more than one public Right-of-Way shall treat both R.O.W.'s as streets, and the Guidelines are to be interpreted accordingly. Adherence to regulations for a street edge for all R.O.W. adjacencies shall be required.

Any buildings lawfully existing at the time of adoption of this code are not required to be altered although the property may not conform to the requirements herein. All non conforming structures are regulated by Section 17.0800 of the village code. Any legal non conforming structure or property hereafter relocated, moved, reconstructed, damaged, or modified, shall be made to comply with the provisions of this code. Compliance is also required for any items remodeled or altered on existing buildings, whether of legal conforming OR legal non conforming status.

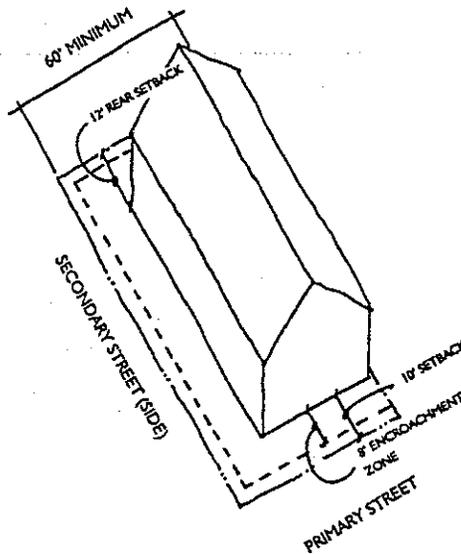
Change of ownership does not necessarily require compliance with these guidelines.

Thiensville Village Master Plan Architectural Guidelines

Building Placement

Buildings and additions are to be located as close to the street line as is practical. Building entries are to face the street.

Front Street setback	10 feet
	Encroachment zone 8'
Side street setback	10 feet
	Encroachment zone 8'
Side setback	0
Rear setback	12' at alley or adjacent parking lane
	6' at property line



Lot area and width:	Minimum 60' width
	7200 square feet
Building height	Minimum 1 1/2 stories
	Maximum 3 1/2 stories

A half story indicates a floor level above the eave line, or a floor level less than 50% of the area of the floor below.

For the Downtown area, building heights should be restricted by story, rather than measurement, to be more accepting of added height spaces, etc. Exemptions would still be as listed in 17.0602.

Thiensville Village Master Plan Architectural Guidelines

Building Placement

The upper half story on a one and one half story building may be accommodated by open cathedral space within the building, unoccupied attic space, or parapet walls on flat roofed buildings.

Outdoor display of retail merchandise is a permitted conditional use in the zoning code. Outdoor seating for restaurants or cafes is permissible within the encroachment zones.

The front of the building must occupy a minimum of 65% of the lot frontage at the setback line. The side facade of Buildings located at corners should occupy a minimum of 40% of the side lot frontage at the side setback line.

Permitted encroachments:

Covered or uncovered balconies, porches, stoops, bay windows, and stairs to the building's primary floor level.

Garden walls and/or fences not exceeding 2' in height. Garden walls and fences exceeding 2' in height but not more than six feet in height are permitted on the setback line, common property lines, or within side or rear yards.

Eaves and other architectural projections may extend 5' into the encroachment zone, and no closer than 2' to a common property line. Eaves and architectural projections may not extend into utility easements.

Parking is not permitted within encroachment zones.

Thiensville Village Master Plan Architectural Guidelines

Common Architectural Style or Language.

Although much of Thiensville has a very distinct and recognizable image, it may be inaccurate to speak of a particular 'style'. However, there is certainly a common Architectural Language. The Guidelines are intended to encourage the use of this architectural language, based upon our observations, in new building projects and renovations.

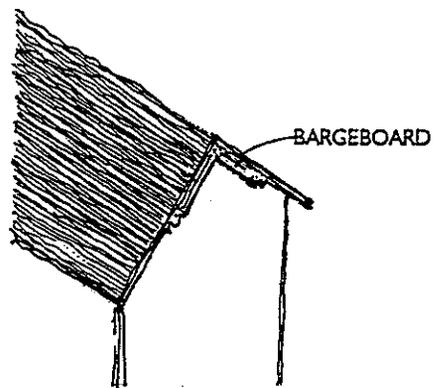
The danger of establishing a singular style is that it has a tendency to encourage duplication and repetition, and discourage inventive solutions and distinctive buildings. This can result in a disorienting homogeneity, or an antiseptic, over planned theme park feeling. The approach we're suggesting will result in buildings that relate to each other in terms of scale, massing, materials, relation to the street, and details, while allowing for some diversity and variation. The Village already has the appearance of a town that has evolved over time, and this approach will enable new buildings to take their place without detracting from the existing character or buildings.

No specific architectural style is specified or required.

Architectural Elements

Roofs

Gabled pitched roofs are required to be a minimum of 8 in 12 pitch (8 inches of rise for 12 inches of run). **Gambrel and Mansard roofs are discouraged.** The gable end is to face the primary street.

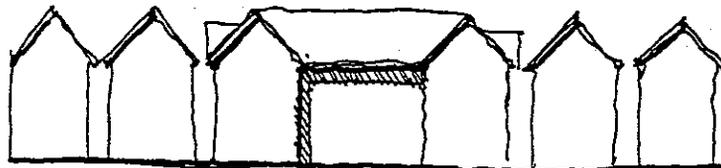
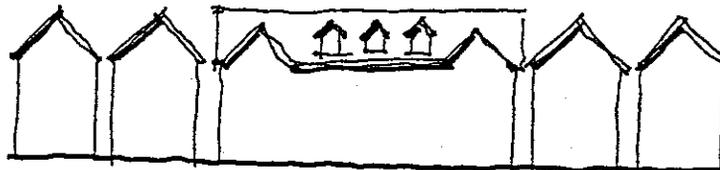
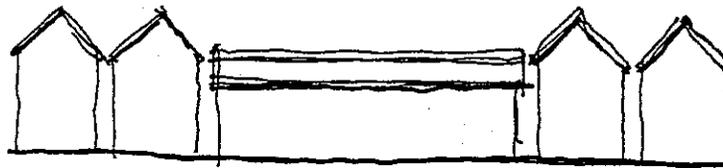
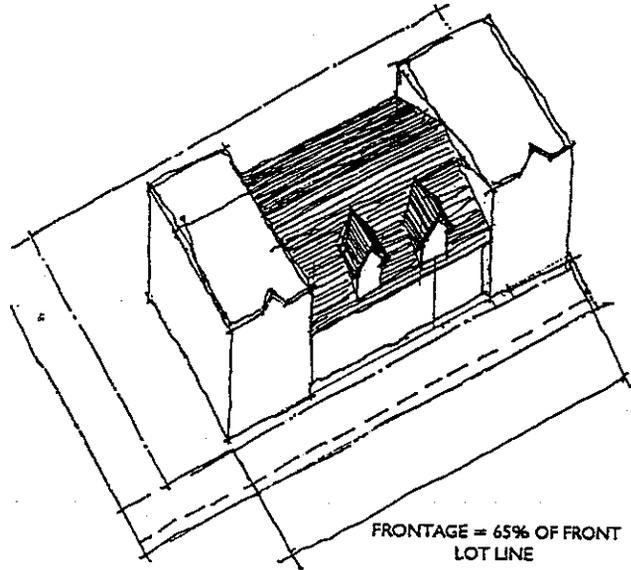


GABLE ROOF @ 12 IN 12 PITCH

Thiensville Village Master Plan Architectural Guidelines

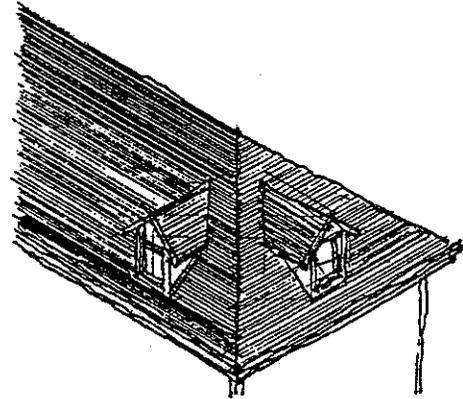
Flat roofs are acceptable on commercial and larger buildings when done in conjunction with gabled roofs, dormers, or articulated parapet walls when done in accordance with common local precedents. An example is shown at right.

If a long roof paralleling the street is unavoidable, large gables facing the street should be used to help maintain the rhythm of gables facing the street. Acceptable and unacceptable arrangements are shown below.



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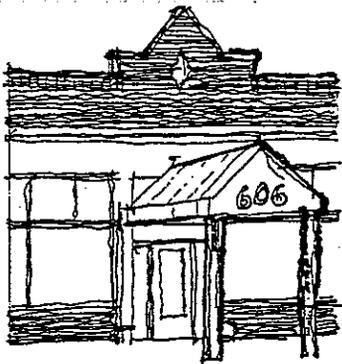
Hip roofs are acceptable when done in conjunction with dormers, as shown in the illustration to the right. Dormers are to face the primary street, at a minimum.



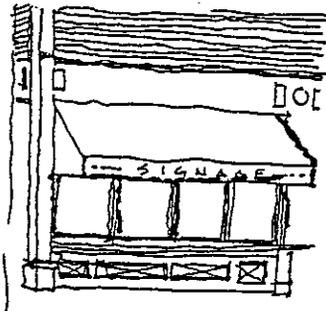
HIP ROOF @ 10 IN 12 W/ DORMER

Canopies

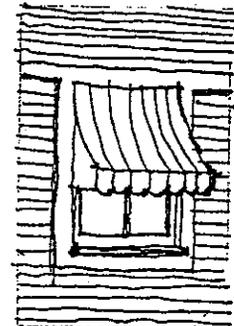
Fabric canopies are acceptable. Building supported canopies are allowed to project up to 4 feet beyond the Street Edge Property Line. Canopies supported by poles are allowed within encroachment zones.



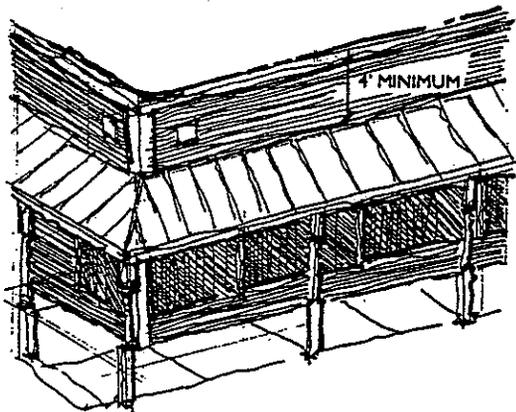
ENTRY AWNING



CANVAS STOREFRONT AWNING



CANVAS WINDOW AWNING



EXAMPLE OF A METAL CANOPY W/ PARAPET

Rigid canopies are allowed, provided the wall to which the canopy is attached extends a minimum of 4 feet above the top edge of canopy. Rigid canopies are to be of construction and materials to match and complement the building to which they are attached.

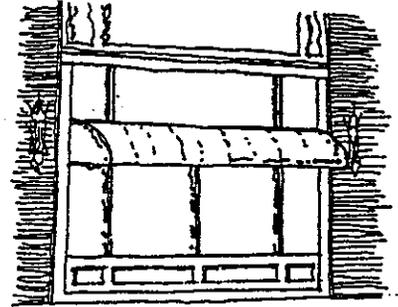
Awnings

Plastic or Plastic laminated awnings are discouraged in the downtown district.

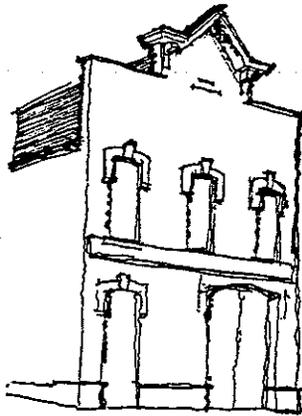
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Waterfall or bubble type awnings are discouraged. Awnings should be a straightforward shape, of fabric. Signage along the front edge is encouraged. Retractable awnings should be considered.

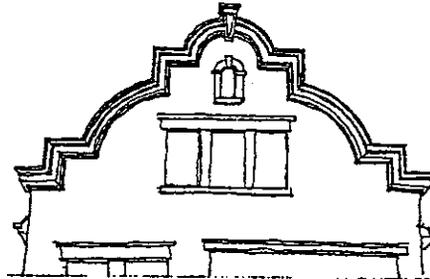
Other building elements which are acceptable in the Downtown District are:



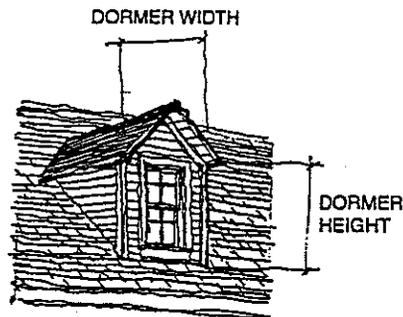
UNDESIRABLE WATERFALL, OR
BUBBLE TYPE AWNING



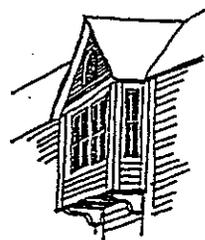
FALSE FRONTS



SHAPED GABLE



DORMERS

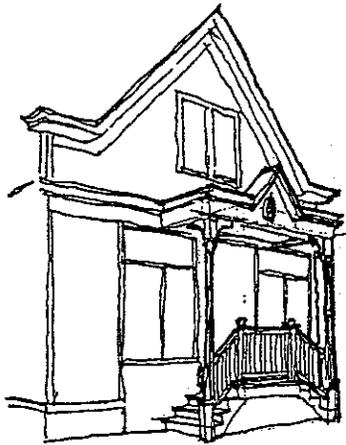


BAY WINDOW

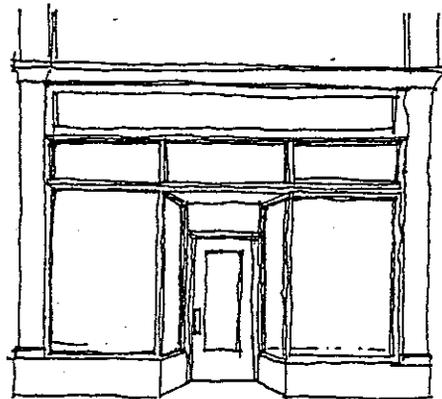
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Entries

For buildings on the street, Main entries are to be prominent and face the street. Doors and frames are to be recessed or articulated with arches, awnings or canopies, and/or entry porches.



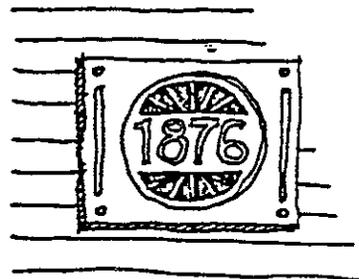
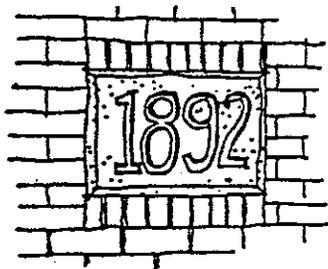
ENTRY PORCH



RECESSED ENTRY

Decorations

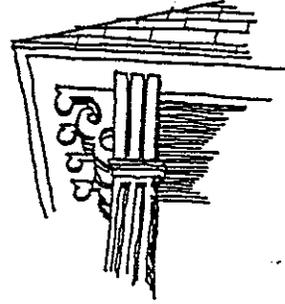
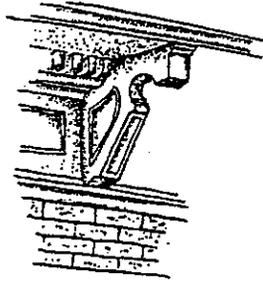
Decorative elements have commonly been incorporated into buildings throughout Thiensville's history, and are encouraged to be included in any projects. The following examples illustrate some of the many ways in which decorative architectural elements, in various materials, can be used.



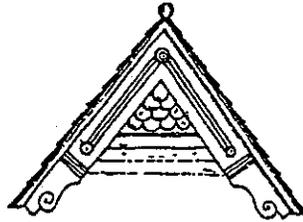
DATE STONES OR CARVED WOODEN PLAQUES

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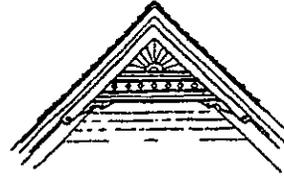
Decorations



BRACKETS



BARGEBOARD



GABLE ORNAMENT



CORBELING



FINIALS

Amenities

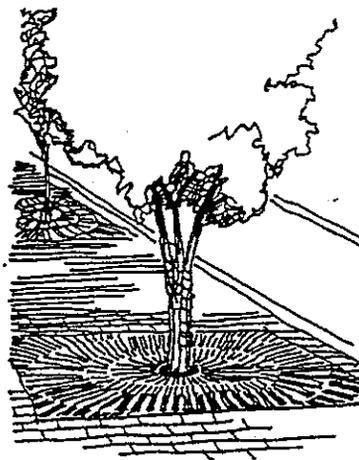
In addition, owners are encouraged to take advantage of and augment the street pedestrian life through the use of public amenities located along primary building facades and streets. Many such typical amenities are in place in various parts of Thiensville, and illustrations are provided below.

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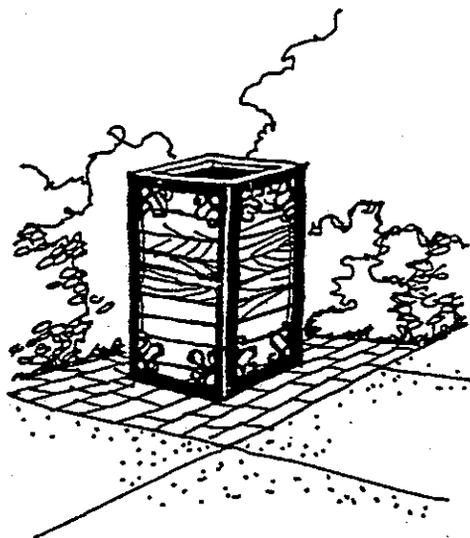
Amenities (continued)



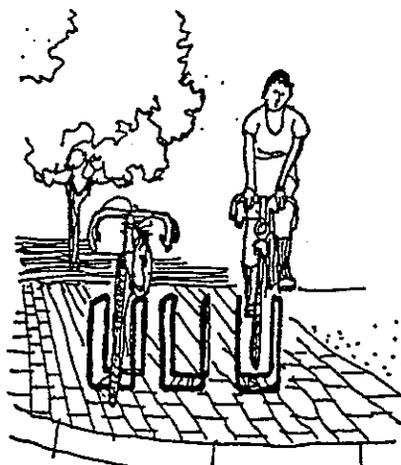
BENCH



TREE GRATE



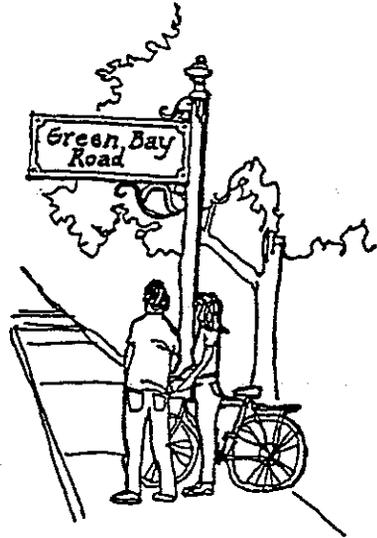
TRASH CONTAINER



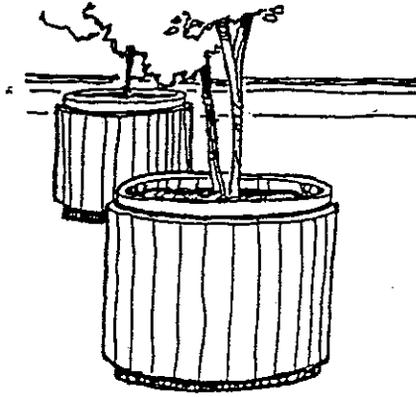
BIKE RACKS

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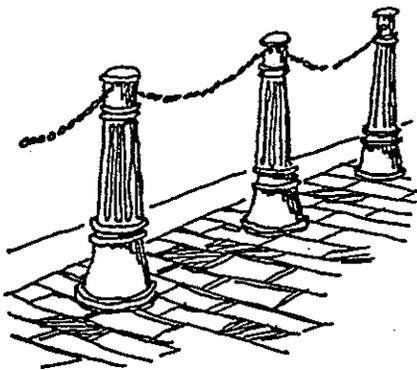
Amenities (continued)



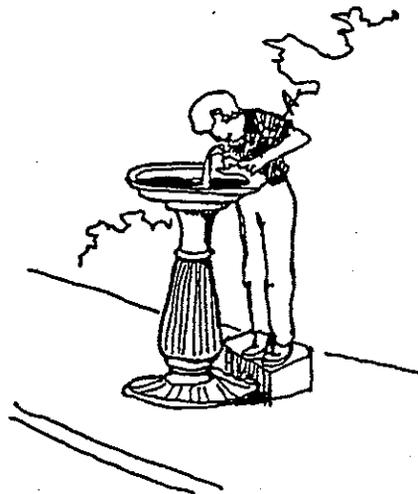
SIGNS



PLANTERS



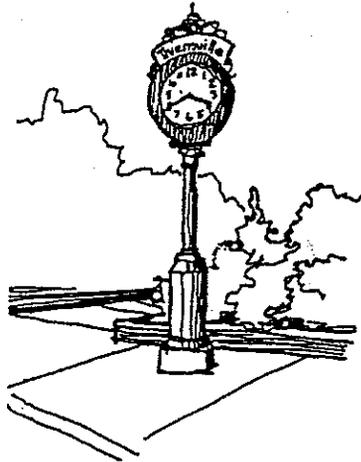
BOLLARDS



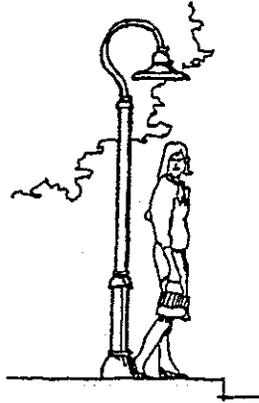
BUBBLER

Thiensville Village Master Plan Architectural Guidelines

Amenities (continued)



CLOCK



PEDESTRIAN LIGHTING

The decorative elements illustrated are intended to indicate the types and character of the desired amenities, and do not have to be exactly matched. Owners are encouraged to use elements complimentary to their specific project.

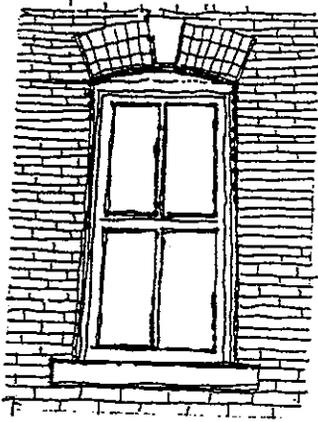
Windows

All primary windows are to be vertically oriented with a minimum ratio of 2 units height to each unit horizontal. The use of double hung or casement windows is strongly encouraged. All windows at the second story or above are to be operable. It is also strongly encouraged that any windows at ground floor (as opposed to storefront) should be operable. Natural finish (mill finish) aluminum storm/screen combination units are not acceptable. Please note that these requirements do not include retail storefronts, which are addressed in a later section.

Sliding windows are strongly discouraged. Windows may be wood, vinyl clad wood, aluminum clad wood, or aluminum. Aluminum windows are to be enamel finish. Natural finish or anodized aluminum windows are not acceptable. Colors are to coordinate with and complement the Historic Color palette.

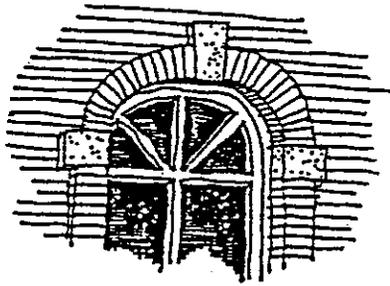
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Windows

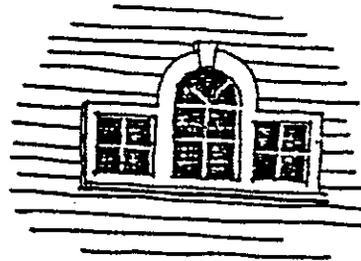


WINDOW IN MASONRY
WALL W/ ARTICULATED
LINTEL & SILL

Window openings are to be articulated; for instance, with sills and lintels in masonry walls, or with wood casings and ornamental lintels in wood framed or sided walls. Window openings are preferred to be rectangular, but segmental arch and round head windows are acceptable.



KEYSTONE ARCHED

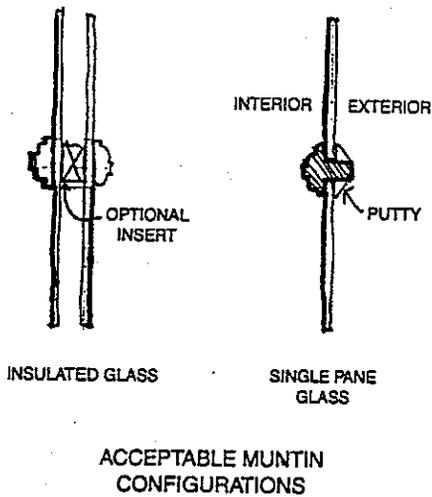
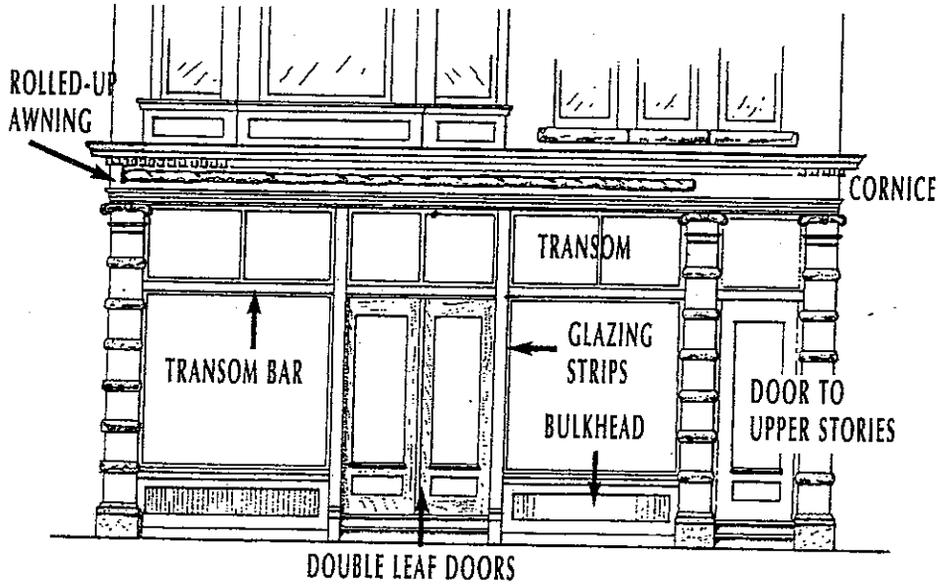


VARIED WINDOW GROUPINGS
'PALADIAN' WINDOW SHOWN

All retail or commercial space at ground floor level of any building is to have full height clear glazed storefront at the street elevation. The bottom 2 feet of this storefront is allowed to be a solid bulkhead of wood, metal, or polymer. Incorporation of a similar storefront at parking lots is also strongly encouraged. The storefront may be aluminum or wood. Natural aluminum or anodized finish is discouraged; aluminum storefronts are to be painted. Colors are to coordinate with and complement the Historic Color palette. An illustrative example is shown below with significant elements labeled.

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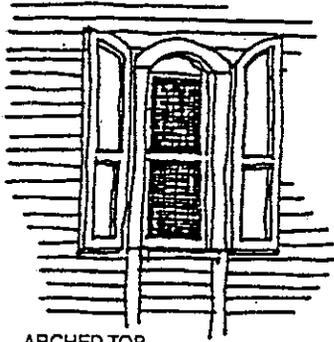
Windows



Divided light or muntin patterns are acceptable, provided true divided light windows are used if the window is single glazed; if the window is double glazed, muntin grilles are to be both interior and exterior.

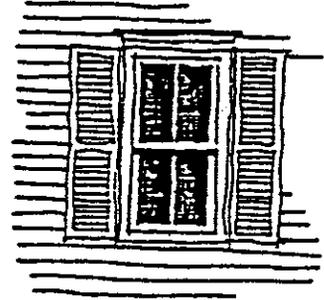
All glazing is to be clear, except as noted below. Tinted or reflective glass is not allowed. Low-E coatings are allowable and are recommended, provided the lowest tint available is used. If restricted vision is desirable, patterned, frosted, figured, or etched glass is acceptable. Stained or art glass is acceptable. Glass block is not allowed on street, walk or parking elevations.

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ARCHED TOP
NOTE- SHUTTERS SHOULD
MATCH WINDOW SHAPE

Shutters are acceptable, operable or fixed, when in wood. The shutter is to match the window proportions and shape (i.e. round top shutters for arched windows). Formed or plastic shutters are not acceptable. Shutters are not to be used on storefront, picture windows, or banks of multiple windows.



RECTANGULAR

- Security bars of any type are not allowed.

- **Building Cleaning**

Under no circumstances is it allowable to clean masonry by sandblasting. Chemical or mechanical cleaning should be used.

Building Massing and Shape

The older buildings in Downtown Thiensville are predominantly Colonial and American Vernacular, an Old World style developed throughout time in America, and these styles may provide a good starting point for designers.

In general, the buildings should be rectangular, with the short side facing the street. This is a common arrangement in older towns and villages, where the original plats are deeper and narrow, to allow for a greater number of properties along the street.

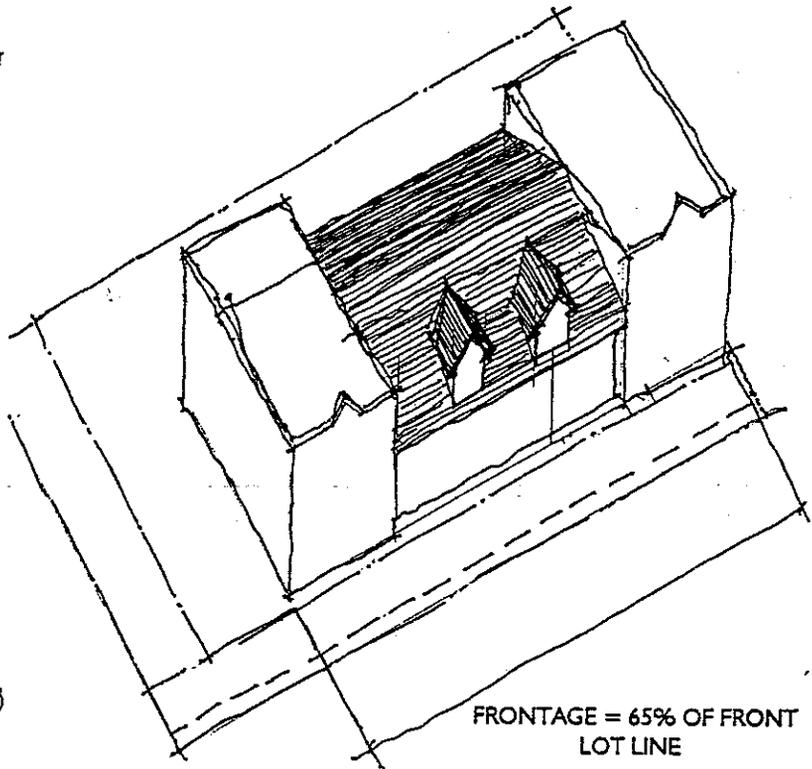
The buildings should respond to this historical precedent, and strive to maintain a building shape that responds to this lot size.

Where a building's size or street frontage creates a situation where a horizontal strip building is unavoidable, the building's facade should be articulated through the use of dormers, false fronts, bay windows, or other architectural elements to break down the horizontal facade and create a rhythm similar to a row of narrower buildings.

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Roof gables are to face the street. If a hip roof is used, it should include dormer windows, facing the street. If the dormers are unoccupied, they should include timed lighting inside for evenings. A long gable roof facing the street can be broken up into a rhythm using cross gables or dormers.

Buildings are encouraged to use tripartite (three part) massing and facade composition, composed of a base, middle and top. Height of these elements should coordinate with and complement neighboring properties. Articulation and building materials are encouraged to change between elements.



FRONTAGE = 65% OF FRONT
LOT LINE

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Building Materials

The following is a list of materials which are acceptable for use in the Village Downtown area. Some materials may have restrictions on uses which are described per individual material. Buildings will be reviewed on a case by case basis to insure conformity with the intent and spirit of the Architectural Guideline.

The materials are to be distributed as follows:

Street elevations are to consist of 100% acceptable materials; Side elevations less than 5 feet from a neighboring building to consist 40% of acceptable materials; side elevations greater than five feet from an adjacent building to consist 65% of acceptable materials; Back elevations have no requirement unless building parking is located to the rear of building, then the rear elevation to consist 65% of acceptable materials.

Stone

The use of native stones, such as limestone, field stone or lannon stone, is acceptable on any building type. Corners and windows must be articulated with quoins, keystones, lintels, sills, and the like. Other types of stone may be acceptable upon review.

Brick

Common size brick is acceptable for the construction of all building types. Special sizes and shapes are acceptable as accents and decorations. Colors are to be "Cream City" (reused only), reds, reddish browns, and browns.

Decorative Concrete Block

The use of decorative concrete block is acceptable when used as a secondary building material of less than 30% of an elevation or as an accent material. The use of standard, plain gray block or glazed block is not acceptable.

Precast Concrete and Cast Stone

Precast concrete or cast stone is acceptable when used as accents, lintels, sills, or decorations. Other uses to be reviewed on a case by case basis.

Terra Cotta

Terra Cotta is an acceptable material as cladding or accent.

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Building Materials

Stucco

Stucco is acceptable as a wall finish material on upper floors and gables. Latex modified stucco (not EIFS) is acceptable.

Exterior Insulated Finish Systems (EIFS).

Commonly known as dryvit (a trade name) and typically used as an alternate for stucco, these systems are not acceptable due to inherent durability, longevity, and performance problems.

Clapboard Siding

Clapboard or lap siding is to be wood, wood composite, or fiber-cement boards. Boards can be smooth or textured.

Wood Shingle Siding

Wood shingle siding is acceptable on upper floors and gable ends. Wood shingles are also acceptable as a roofing material.

Ornamental Metals

Ornamental metals are acceptable as accent materials such as grills, railings, panels, gutters, etc.

Asphalt Shingles

Asphalt Shingles are acceptable as a roofing material. Attention should be paid to color and style selection to enhance compatibility with nearby buildings. Asphalt as a siding material is not acceptable.

Metal Roofing, seamed or batten

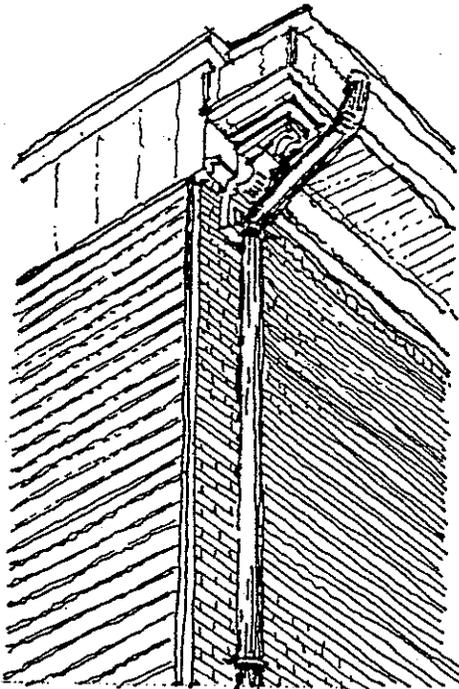
If metal roofing is used, finishes are to be limited to copper coated, terne metal or painted to resemble weathered copper.

Roofing Tile

Clay, terra cotta, metal or cementitious roofing tiles in natural colors are acceptable.

Thiensville Village Master Plan Architectural Guidelines

Building Materials

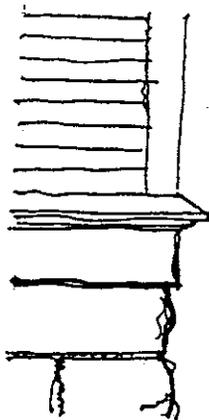


EXAMPLE OF UNACCEPTABLE
MATERIAL TRANSITION AT
OUTSIDE CORNER

Material Changes

Material changes should always occur at inside corners, to give the materials a sense of permanence and thickness. A change at an exterior corner belies the veneer nature of many contemporary construction methods, as well as providing an unprotected seam vulnerable to damage and peeling. The example at the left shows a poor transition.

Horizontal material changes should be detailed to have the upper material overlapping the lower, as in a water table. An example is shown below.



'WATER TABLE'
EXAMPLE OF DESIRED
HORIZONTAL MATERIAL
TRANSITION

Thiensville Village Master Plan Architectural Guidelines

Parking Requirements

Parking will only be allowed to the side and rear of the principal building(s) on any lot. If located to the side, a solid masonry wall a minimum of 2' high with planting strip will be required at the sidewalk. The planting strip between the sidewalk and parking is required to be a minimum of 4' wide and to have one deciduous hardwood tree every twelve feet along with appropriate ground materials and shrubs. Parking between buildings and sidewalk will only be allowed by variance, upon demonstration of hardship.

Where possible, parking lanes are to be located centered on property lanes within side setbacks and shared by adjacent properties. Curb cuts in the middle of a frontage should be aligned with existing curb cuts across the street, to simplify and ease traffic circulation.

Where a parking lot exists on an adjacent property immediately adjacent to a proposed parking lot, traffic lanes are to be aligned to allow travel between neighboring parking lots.

Lighting

High mast lighting of parking areas is not allowed. Maximum Pole height for grade parking is limited to 24 feet. Building mounted lights are acceptable, provided they are not mounted higher than 24' above the parking grade.

Pedestrian walks not located along streets are to be illuminated using pedestrian scaled, decorative lighting fixtures. Maximum allowable pole height is 16 feet.

All site lighting fixtures are to be Metal Halide or Mercury Vapor high intensity discharge lighting. Sodium vapor lamps are strongly discouraged.

Thiensville Village Master Plan Architectural Guidelines

Signage

Successful businesses today depend a great degree on good advertising. A sensitively rehabilitated older commercial building is, by itself, an outstanding form of advertising because a handsomely restored commercial building will stand out from its undistinguished neighbors. A building's signage should always complement its architecture. Signage that is too abundant, too large, out of place, or stylistically inappropriate conveys a poor image of the business and will detract not only from the aesthetic appeal and character of the building it is attached to but also from the entire neighborhood. Exterior lighting is another advertising device that, when properly installed, can dramatically emphasize a building by highlighting the facade, signage and display windows of a building at night.

There are many types of traditional signage that are appropriate for use in Thiensville's Downtown.

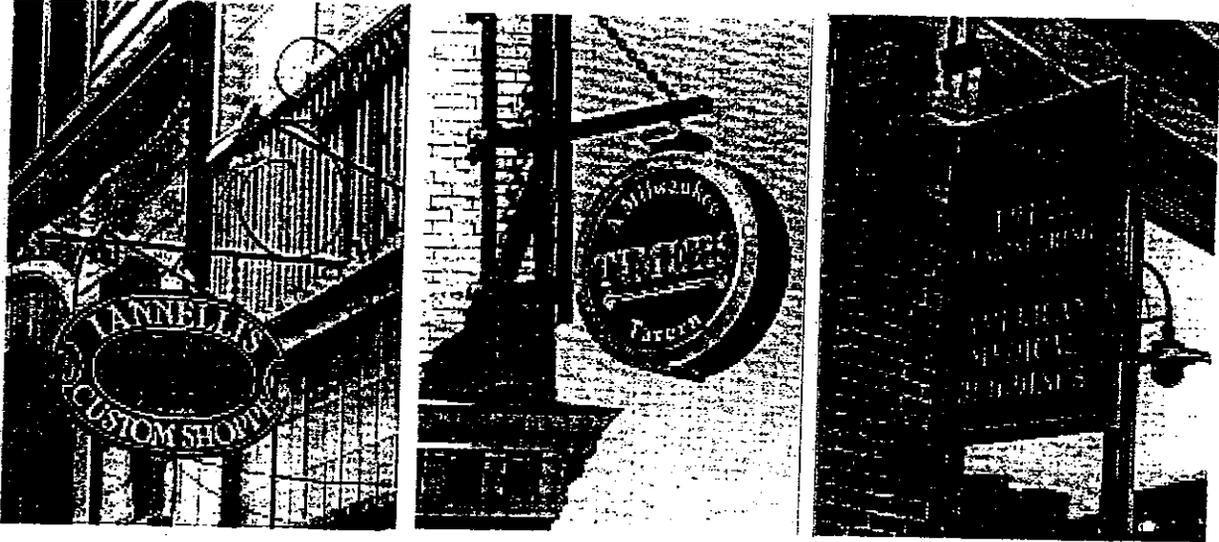
1. Raised or painted letters on a flush mounted signboard.
2. Awning signs.
3. Gilded or painted letters on storefront display windows.
4. Wall mounted cast bronze plaques or tablets.
5. Hanging signs mounted on brackets that project from a wall.
6. Sandblasted or etched structural glass signage.
7. Leaded glass transom lettering.
8. Neon signage.

As important as the style of the sign itself is where it is mounted on the building. Shop front signage must be located within specific zones on the front of a building in order to capture the attention of pedestrians and motorists and to complement or, at least not detract from, the architecture of the building.

One of the most important things to keep in mind about signage is that one well designed, appropriately sized and located sign is better than five poorly designed signs. It is a great mistake to clutter the front of a building with multiple signs, as is often done on the

Thiensville Village Master Plan Architectural Guidelines

Signage



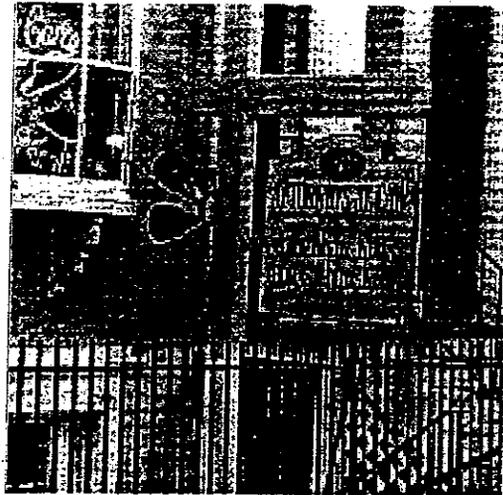
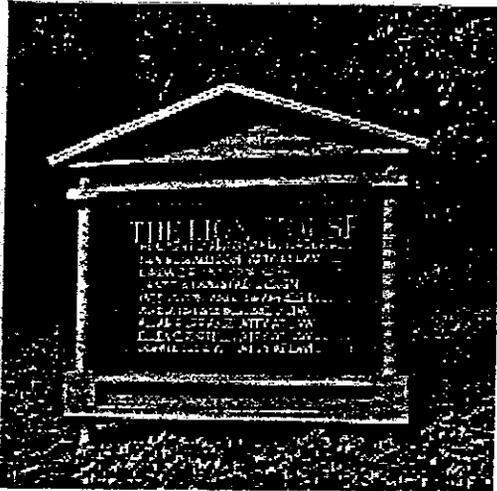
mistaken premise that the more signs a business has the more the public will be attracted to it. In fact, just the opposite often occurs, since people are confused and repelled by signage that tries to convey too much information or creates a cluttered, disorganized image of a business. When signage becomes too loud or abundant, it no longer works to attract patrons because the mind no longer is capable of quickly sorting out the multiple messages being presented and tends to ignore the signage as mere visual pollution. When businessmen begin to compete with each other by trying to outdo their neighbors' signage with more and bigger signs, the entire visual character of a commercial area can be changed to a tawdry cheap image that may actually hurt business.

The modern, internally-lit, plastic faced box sign that is widely used today is strongly discouraged in Thiensville's downtown district. This box sign is composed of a translucent plastic facing attached to a metal box frame that contains lighting equipment. Box signs have a bulky, modern, machine made appearance that looks out of place in this area. Compared with modern, internally lit box signs, the design possibilities of traditional types of signage are more extensive and the visual effects can be much more aesthetically appealing and impressive. By suggesting that traditional signboard signage is highly desirable, we are not advocating the use of "rustic" signage made with rough sawn lumber or old barn boards because these signs do not create the antique or historic appearance that they are intended to, but rather look crude and frontierish and are out of character with Thiensville's Downtown District.

Thiensville Village Master Plan Architectural Guidelines

Signage

Examples of ground signs.



Thiensville Village Master Plan Architectural Guidelines

Painting

Painting can be one of the simplest and most effective ways to enhance a building. It gives the facade a well maintained appearance and is essential to ensuring a long life for many traditional materials. The steps below should be followed to ensure a quality job.

1. Catalog all the facade materials to be painted. Brick, wood and metal have different paints and procedures. Consult a local expert for advice. Use only quality paint products.
2. Make any necessary repairs to surfaces before starting: replace rotten wood, repaint masonry mortar joints, remove rust from metal, etc.
3. Carefully prepare each surface in accordance with the manufacturer's instructions for the paint being used. This will include scraping, sanding, and a thorough cleaning. Good surface preparation is an essential step to ensure a good looking, long lasting finish.
4. Apply the paint in accordance with the instructions. Paint only in satisfactory weather, and plan to use a primer as a first coat for better surface adhesion. Follow with two coats of the final color.

Color

Colors should visually relate building elements to each other. Because the amount of sun can change the appearance of a paint color, paint chips should be checked on both sunny and cloudy days. Painting a small section of the building in the chosen colors is the best way to check the effect of the colors on the building.

In the end, color choice is a personal decision. It is an expression of the building owner's taste, and of the image of the business located in the building. If some basic color and paint guidelines are kept in mind, however, color can add to the visual richness and appeal of Thiensville's Village Center. Paint color choices should be limited to the paint color included in Pittsburgh Paints or Benjamin Moore Paints Historic Paint Collections. Pamphlets and samples showing these paint selections are available at any paint dealer carrying the brands mentioned.

The color of the upper wall surface and the storefront piers is the base color. In most cases, if these elements are masonry and are not currently painted, they should not be painted. Paint can usually be removed from painted masonry to reestablish the natural brick color. Paint should never be removed from old masonry by sandblasting or abrasive

Thiensville Village Master Plan Architectural Guidelines

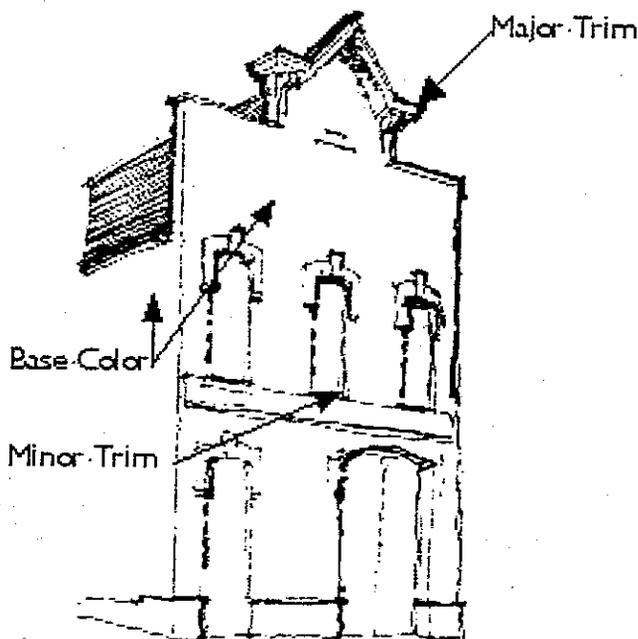
Painting

cleaning. Chemical cleaning is just as effective and does not destroy the weathering surface of the masonry or erode the mortar joints.

If the masonry or wood wall is to be painted, the choice of base color is of primary importance. Generally, light base colors will visually recede and emphasize the trim.

A typical 3-color design includes:

1. A base color for the siding (for unpainted masonry walls, the natural brick or stone is the base color).
2. A major trim color for prominent details such as cornices, window enframements, and corner boards.
3. A minor trim color used sparingly for window sash and other small decorative accents.



Keep these points in mind:

If the building was built before 1900, the window sash, the movable parts of the window unit, were usually painted the darkest color used on the building.

Too many colors can create a confused, clumsy appearance.

Apply paint to a "test area" and evaluate the effect before making any final decisions.

Use the accent or minor trim color sparingly.

**Village of Thiensville
Architectural Guideline Checklist**

Project Information

Date _____ Reviewer _____

Property Address _____

Owner _____ Phone Number _____

Owner's Address _____

Architect or Designer _____ Phone Number _____

Contractor _____ Phone Number _____

Lot Size, _____ sf or acre Building Size, _____ sf

Building Height, _____ feet Building Height, _____ stories

Remodeling

New Construction

Addition

Village of Thiensville Architectural Guideline Checklist

This Review Checklist is provided to the applicant as a tool to be used in reviewing the applicant's proposal for compliance with key elements of Thiensville's Architectural Guideline.

Site Planning

Building Location

- | | | | |
|---|-----|----|-----|
| <input type="checkbox"/> Front Street Setback 10 feet? | Yes | No | |
| <input type="checkbox"/> Side street setback (if applicable) 10 feet? | Yes | No | N/A |
| <input type="checkbox"/> Side setback 0 feet | Yes | No | |
| <input type="checkbox"/> Rear Setback 12 feet at alley | Yes | No | |
| <input type="checkbox"/> 6 feet at property Line | Yes | No | |

Lot area

- | | | | |
|--|-----|----|--|
| <input type="checkbox"/> 7200 square feet or greater | Yes | No | |
| <input type="checkbox"/> 60 feet width or greater | Yes | No | |

Building Frontage _____ feet

- | | | | |
|---|-----|----|--|
| <input type="checkbox"/> 65% of lot frontage minimum? | Yes | No | |
|---|-----|----|--|

Side Frontage: _____ feet

- | | | | |
|--|-----|----|-----|
| <input type="checkbox"/> 40% of Side Frontage minimum? | Yes | No | N/A |
|--|-----|----|-----|

Parking

- | | | | |
|---|-----|----|-----|
| <input type="checkbox"/> Located to side or rear of building? | Yes | No | N/A |
| <input type="checkbox"/> Plantings and screening where required? | Yes | No | |
| <input type="checkbox"/> Parking entry shared by adjacent properties? | Yes | No | N/A |
| <input type="checkbox"/> Parking aligned with neighboring lots? | Yes | No | N/A |

Other

- | | | | |
|---|-----|----|--|
| <input type="checkbox"/> Trash located to rear or side of building? | Yes | No | |
| <input type="checkbox"/> Trash receptacle enclosures? | Yes | No | |

Note Comments or other non-compliant items

**Village of Thiensville
Architectural Guideline Checklist**

Building

Building Height

- Minimum 1-1/2 stories, maximum 3-1/2 stories
- Yes No

Building Mass

Building Orientation

- General Shape of building footprint
- Rectangular Square Other:
- Short Side facing Primary Street? Yes No
- Strip building articulated to Break down facade? Yes No Undetermined

Roof

- Roof type: Gable Hip Flat Other:
- Pitch: _____
- 8 in 12 minimum? Yes No
- Gable end facing street? Yes No
- Dormer Windows in Hip Roof Yes No N/A
- Cross Gables in long roof? Yes No N/A

Note Comments or other non-compliant items

**Village of Thiensville
Architectural Guideline Checklist**

Aesthetic

Windows

- | | | | |
|--|-----|----|--------------------------|
| <input type="checkbox"/> Storefront at street for retail operation? | Yes | No | N/A |
| <input type="checkbox"/> Operable windows? | Yes | No | N/A |
| <input type="checkbox"/> Vertical (2:1) orientation? | Yes | No | N/A |
| <input type="checkbox"/> Divided Lites: Applied Muntin True divided lite | | | Inside & Outside Muntins |
| <input type="checkbox"/> Shutters made of wood? | Yes | No | N/A |
| <input type="checkbox"/> Shutters conform to window shape? | Yes | No | N/A |
| <input type="checkbox"/> Omit Tinted Glass? | Yes | No | |
| <input type="checkbox"/> Omit Security Bars? | Yes | No | |

Note Comments or other non-compliant items

- | | | | |
|---|-----|----|-----|
| <input type="checkbox"/> False Front Roofs? | Yes | No | N/A |
| <input type="checkbox"/> Dormers? | Yes | No | |

Entries

- | | | |
|---|-----|----|
| <input type="checkbox"/> Main entry on street? | Yes | No |
| <input type="checkbox"/> Main entry articulated? | Yes | No |
| <input type="checkbox"/> Canopies? | Yes | No |
| <input type="checkbox"/> Porch or stoop? | Yes | No |
| <input type="checkbox"/> Door and Window Frames edged or articulated? | Yes | No |

Awnings

- | | | |
|---|-----|----|
| <input type="checkbox"/> Canvas or fabric? | Yes | No |
| <input type="checkbox"/> Waterfall or Bubble shape? | | No |

Materials

Circle the primary materials used:

- | | | | | |
|------------------|---------------------------------|---------------------------|---------------------------------|-------------|
| Stone | Brick | Decorative Concrete Block | Precast Concrete and Cast Stone | Terra Cotta |
| Stucco | Clapboard siding | Wood Shingle Siding | Ornamental Metals | |
| Asphalt Shingles | Metal roofing, seamed or tiles. | Roofing Tile | | |

**Village of Thiensville
Architectural Guideline Checklist**

Are other Materials Used? Yes No
Describe type and Location

100% of street facade acceptable materials? Yes No

Side Elevation (less than 5 feet from adjacent Building), 40% Acceptable materials?
 Yes No N/A

Side Elevation (less than 5 feet from adjacent Building), 65% Acceptable materials?
 Yes No N/A

Back Elevation Abutting Parking, 65% acceptable materials?
 Yes No N/A

All Material Changes at inside corners? Yes No

Other

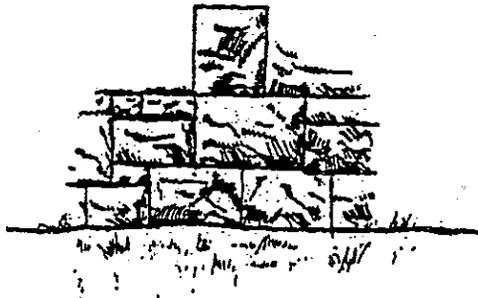
Street Amenities (planters, benches, etc.)? Yes No

Note Comments or other non-compliant items

Thiensville Village Master Plan Architectural Guidelines

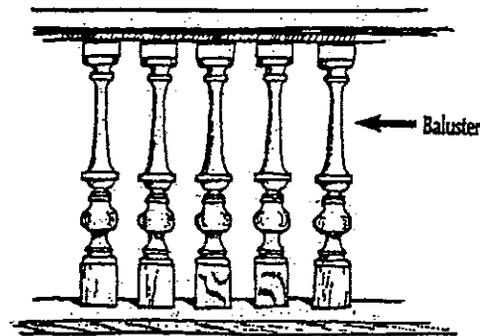
Glossary

Ashlar - A square or rectangular building stone.



Ashlar

Baluster - an upright member supporting a railing or banister.

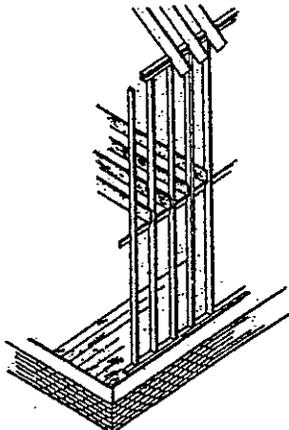


Astragal - The molding strip covering the junction of a pair of doors.

Backband - The projecting outer molding of a door or window casing or a sign board.

Back-set - Distance from the outside edge of a lock to the center of the door knob.

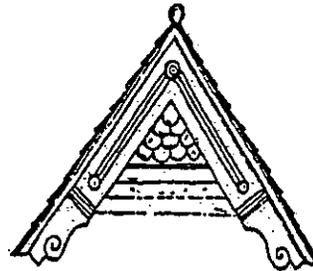
Balloon Frame - Type of wood frame construction with wall studs extending uninterrupted from the foundation to the top of a wall.



Balloon Frame

Balustrade - A railing assembly composed of a handrail which is supported by balusters.

Bargeboard - A wide ornamental fascia board hung from the eaves or in a gable.

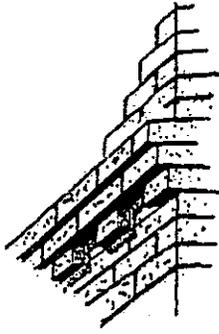


Bargeboard

Belt Course - A continuous horizontal band on an exterior wall. Also called a "string course." Can be made of brick, stone or wood.

Thiensville Village Master Plan Architectural Guidelines

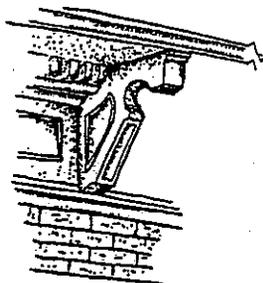
Glossary



Belt Course

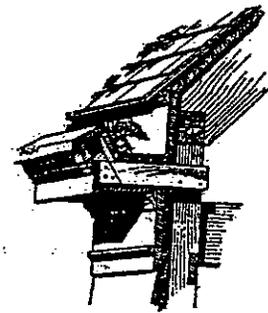
Bevel siding - A traditional horizontal wooden siding material that tapers to a thin edge and is lapped over the board below it.

Brackets - Supporting members of wood, stone or metal often used for both decorative and structural purposes and generally found under projecting features such as eaves or cornices. Also, the supports for a balcony.



Bracket

Built-in-Gutter - A gutter set into the building cornice so as to be invisible from the ground.



Built-in-Gutter

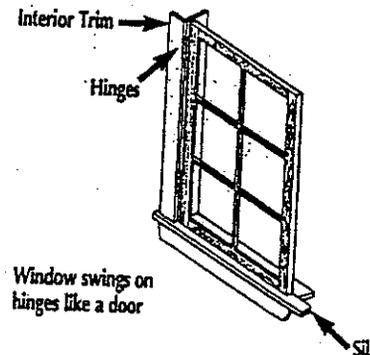
Bulkhead - The area beneath a storefront display window.



Bulkhead

Capital - The head or topmost part of a round column or rectangular pilaster.

Casement - A window that is hinged on one side and swings open like a door.

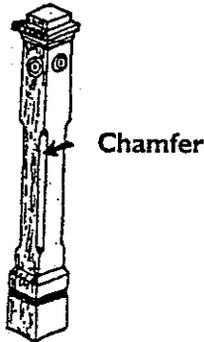


Casement Window

Thiensville Village Master Plan Architectural Guidelines

Glossary

Chamfer - A beveled edge.



Corinthian Column

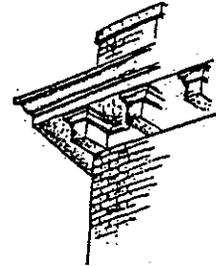
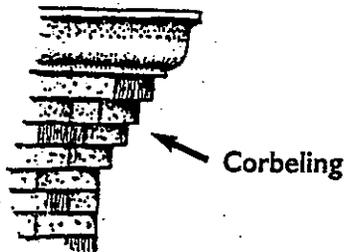
Corner Boards - Vertical trim boards installed at the outside and inside corners of a wall covered with wooden siding.

Cornice - Generally refers to a horizontal, projecting molding that crowns the top of a wall. In classical architecture, it is the uppermost part of the entablature.

Clapboards - See "Bevel siding."

Coping - The capping or top course of a wall, usually intended to protect the wall below it from weather.

Corbeling - A series of stepped or overlapping pieces of brick or stone, often forming a support.

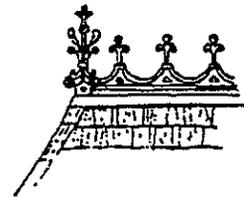


Cornice

Cresting - Wood or metal ornament used to trim the ridge of a roof.

Corbel Table - A series of corbels supporting upper moldings or a cornice. Commonly used below the eaves line.

Corinthian - A classical style of architecture characterized by columns with capitals that are adorned with acanthus leaf ornament.



Cresting

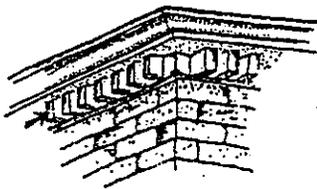
Cricket - See "Saddle."

Cut Nail - The correct name for an old-fashioned, "square" nail.

Thiensville Village Master Plan Architectural Guidelines

Glossary

Dentil Blocks - An ornamental molding composed of a series of evenly-spaced small blocks usually placed under a cornice or overhang.



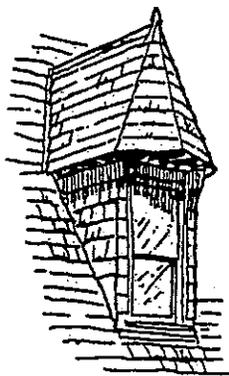
Dentil

Doric - A style of classical architecture characterized by columns with simple round capitals without carving.



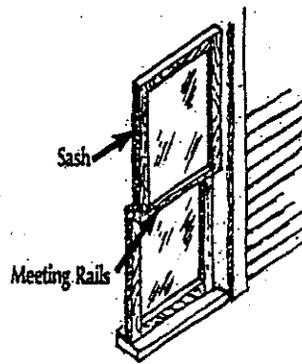
Doric Column

Dormer - A window projecting from a roof.



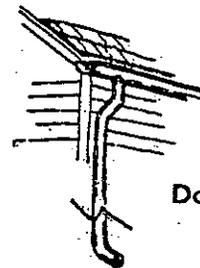
Dormer

Double Hung Window - The most common type of wooden window in older buildings. Composed of two windows, each called a sash, that slide up and down in separate channels.



Double Hung Window

Downspout - The vertical pipe that drains water from the eaves trough or gutter.



Downspout

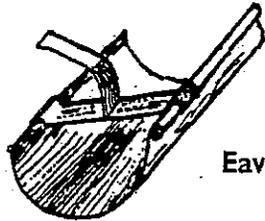
Dry Rot - Traditionally refers to the decay in wood that usually results from moisture rising from the ground beneath or around a foundation. Today the term is often used to describe rotted wood in a soft, dry, crumbly condition.

Eaves - The part of a roof that projects beyond the side walls of a building.

Thiensville Village Master Plan Architectural Guidelines

Glossary

Eaves Trough - A half-round style of gutter.

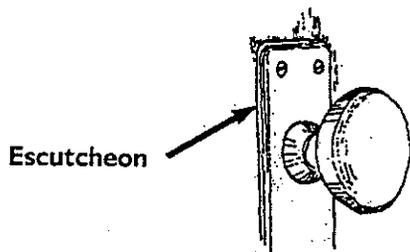


Eaves Trough

Efflorescence - White, powdery substance sometimes found on mortar joints and brick.

Epoxy - A space-age plastic-like material that hardens through a chemical reaction created by mixing a special catalyst or hardener with a resin or paste.

Escutcheon - The decorative plate on a door on which a door knob is mounted.



Escutcheon

Etched Glass - Similar to sandblasted glass, it has a grainy, frosted appearance made by eroding the surface with acids.

Facade - The main elevation or entrance front of a building.

Fascia Board - A finish board attached to the projecting ends of the roof rafters.

Fenestration - The arrangement of windows in a wall.

Figured Glass - Glass that is molded with a

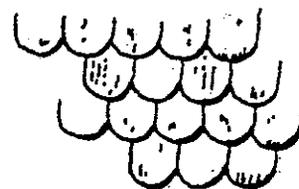
decorative, light-obscuring pattern on one side.

Finial - A carved, turned, or sawn ornament made of wood, metal, or stone that crowns a roof, gatepost, or some other peak.



Finial

Fishscale Shingles - Wood or terra cotta shingles with rounded butts.



Fishscale Shingles

Flashing - Strips of metal or rubber-like material installed on roof areas vulnerable to water leakage such as in valleys or around chimneys. Also used at the top of window and door openings.

Flue - Hollow area of a chimney that conducts fumes, heat, and other products of combustion away from the building.

Fluting - Shallow vertical grooves on a column.

Thiensville Village Master Plan Architectural Guidelines

Glossary

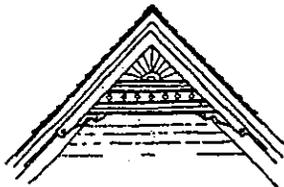
Footing - The lowest part of a foundation system that rests directly on the soil and serves as a base for the foundation wall. Usually made of concrete or limestone.

Gable - The triangular upper portion of a wall beneath a peaked roof.



Gable Roof

Gable Ornament - Ornamental trim beneath the peak of a gable.



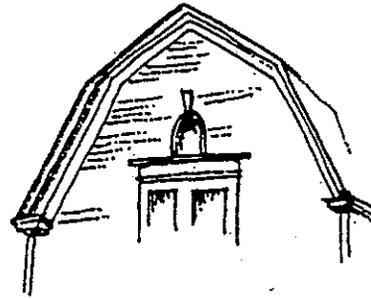
Gable Ornament

Gable Roof - A roof that has a ridge at the center and slopes in two directions.

Galvanic Action - Chemical corrosion caused by the meeting of two dissimilar metals in a moist or wet environment.

Galvanizing - A coating of zinc applied to prevent iron or steel from rusting.

Gambrel Roof - Roof with two sloping planes of differing pitches on either side of a ridge, the lower plane being the steeper one.



Gambrel Roof

Glazing - The transparent or semi-transparent glass or plastic in a window.

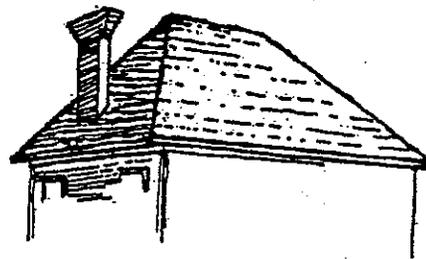
Glue Chip Glass - Opaque glass that has the appearance of frozen ice crystals. Often used in doors and transoms.

Grade - At the level of the ground.

Gutter - Metal trough attached or built-in to the edge of a roof for the purpose of conducting rain water off the roof and away from the walls of the building.

High-Back Gutter - A traditional type of rain gutter made in many different styles that is attached to the roof by means of an integral metal flange that extends a few inches beneath the first row of roofing shingles.

Hip Roof - A roof with slopes on all four sides meeting at a ventral point or ridge.



Hip Roof

Thiensville Village Master Plan Architectural Guidelines

Glossary

Hood Mold - A projecting molding made of wood, brick or stone above an arch, door, or window.

Insulating Glass - A factory-prepared "sandwich" of two sheets of glass with a sealed air space in between that reduces heat loss.

Ionic - A style of classical architecture characterized by columns with capitals with large spiral scrolls, called volutes.

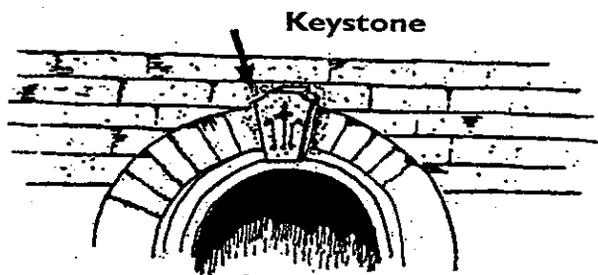


Ionic Column

Jamb - The top and side members of door and window frames.

Joist - Plank placed on edge to which floor and ceiling materials are attached.

Keystone - The topmost or center brick or stone in an arch.



Lath - Perforated metal sheets or wooden strips that serve as a base for plaster and

stucco.

Leaf - One half of a set of double doors.

Lexan - The brand name of a popular, clear, polycarbonate (plastic) glazing material that is highly break resistant.

Lintel - A horizontal beam bridging a window or door opening to carry the weight of the wall above the opening.



Mansard Roof - A roof divided into a steep lower part and a less steep or flat upper part on all four sides.

Meeting Rail - The horizontal, overlapping rail in a double hung window unit. (See "Double Hung Window" for illustration.)

Mineral Fiber - Formerly called cement asbestos, it is a roof and siding material made from Portland cement, water, and asbestos or another mineral fiber which is molded under intense pressure to make thin, slate-like shingles or sheets.

Mineral Wool - Term used to collectively describe insulation materials made of fiberglass, rock wool or slag wool, all of which have a soft, wool-like texture and composition.

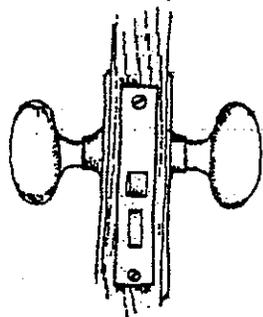
Miter Cut - A bevel cut used to produce a fine finished appearance when joining two pieces of wood together at an angle.

Thiensville Village Master Plan Architectural Guidelines

Glossary

Mortar - Mixture of sand, cement, water and, usually lime.

Mortise Lock - A box-like metal locking mechanism that is made to fit into a pocket called a "mortise" in the edge of a door. Mortise locks were used for most interior and exterior doors made before 1935.



Mortise Lock

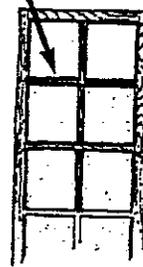
Mullion - A vertical member that separates window units grouped in a close series.



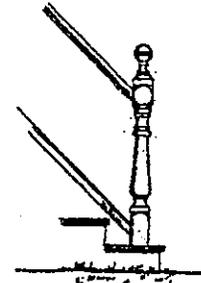
Mullion

Muntin - The strips that separate glass panes in a sash. Also called glazing bars.

Muntin



Newel Post - Main upright member that supports the handrails of a staircase.



Newel Post

Oriel - A projecting window supported on brackets or corbels.

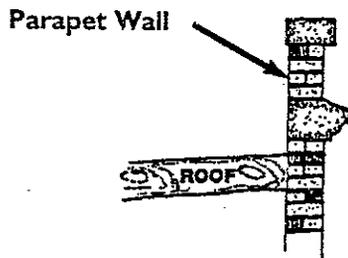


Oriel

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Glossary

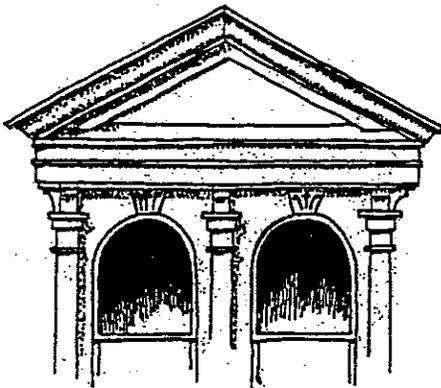
Parapet Wall - A low wall at the edge of a roof or terrace.



Parting Strip - The vertical piece of wood that separates the upper and lower sash of a double-hung window.

Patterned Glass - A catch-all term used to describe all special purpose glass that features an obscured surface to admit light without permitting vision through it.

Pediment - The triangular face of a roof gable, especially on a classical style building or any similar form above a door, window, or on a porch roof.



Pediment

Pent Roof - A roof with only a single sloping plane, sometimes a small ornamental roof found projecting from a wall or parapet.

Pier - An upright structure of masonry that serves as support.

Pilaster - A square or rectangular representation of a column that projects from a wall surface.

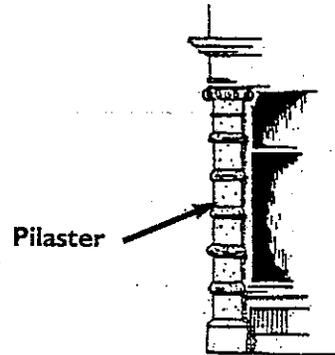


Plate Glass - A premium quality clear glass made by rolling sheets of molten glass that are finely polished to remove all blemishes and distortion.

Plates - Horizontal pieces of framing lumber at the top and bottom of wood-framed walls to which the studs are fastened.

Plexiglas - The brand name of a popular clear acrylic substitute for common window glass. Although many times stronger than glass, it can still break. See "Lexan."

Plumb - Means that an object such as a post or wall is perfectly vertical and stands at a 90 degree angle to a level surface.

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Prime Window - Refers to the principal window assembly that is an inseparable part of the building, as opposed to a storm window.

Prism Glass - Glass that has a smooth outer surface and an inner, molded surface composed of many tiny, faceted prisms. It can refocus light to areas where it is needed on the interior.

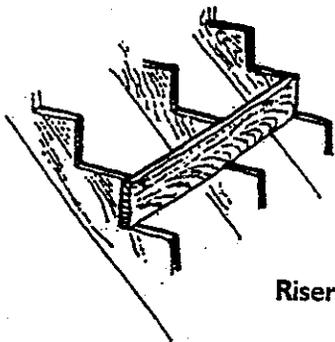
Putty - A mixture of calcium carbonate, linseed oil, and other ingredients, that was used for filling holes and installing window glass. This material is not the same as modern glazing compound, which is also often called putty.

Rafter - Usually a sloping member that supports the roof sheathing and roofing material.

Rehabilitation - Renewing old buildings for modern living.

Restoration - The rejuvenation and/or replication of historic architectural features.

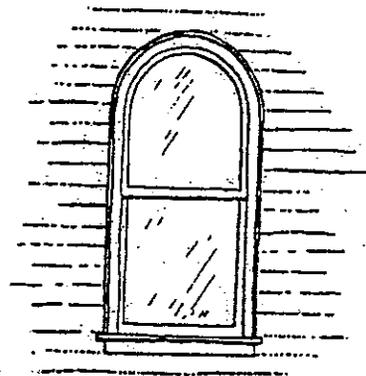
Riser - The vertical part of a step.



Riser

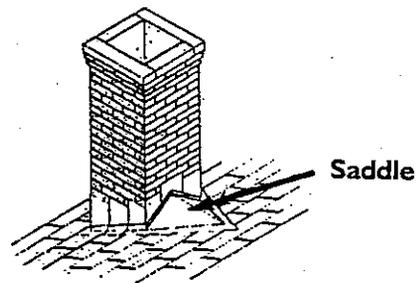
R-Value - measure of a building material's ability to hold back heat flow. The greater the R-value, the better a material will insulate.

Roundhead Window - A window with a semicircular top.



Roundhead Window

Saddle - Small, inverted, V-shaped assembly placed at the back side of a chimney to divert water away from the chimney. Also called a "cricket."



Saddle

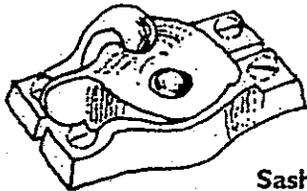
Sandblasted Glass - Glass with a grainy, frosted finish made by eroding the surface with a high-pressure stream of fine sand or other abrasives. (See also Etched Glass.)

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Glossary

Sash - Wood or metal frame into which glass panes are set. (See "Doublehung Window" for illustration.)

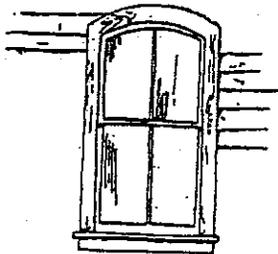
Sash Lock - Hardware used to lock two window sash together.



Sash Lock

Sash Weight - An iron weight used to balance a sash so that it will remain in any desired vertical position when opened.

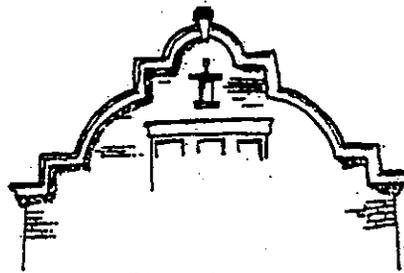
Segmental Arch Window - A window with a shallow curved arch formed by the segment of a circle.



Segmental Arch Window

Shake - A thick, rustic-looking wooden roofing material made by splitting, rather than sawing, a log. It is not suitable for use on Thiensville's existing historic buildings.

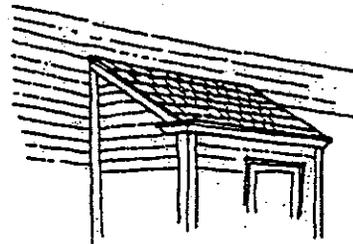
Shaped Gable - A type or ornamental gable with a curving or stepped profile.



Shaped Gable

Sheathing - Boards applied over the wall studs to which the finish wall material such as bevel wood siding, brick or stucco is applied.

Shed Roof - A roof type composed of a single sloping plane.



Shed Roof

Sill - The bottom member of a window frame.

Soffit - Refers to the underside of an assembly such as a roof overhang, staircase, arch, or box beam.



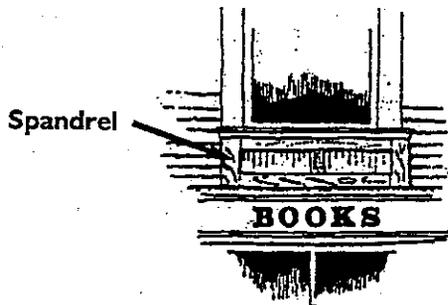
Soffit

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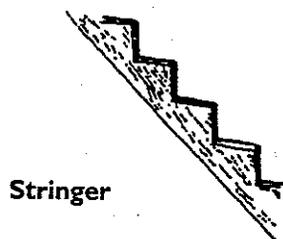
Spandrel - That part of a wall between the head of a window and the sill of the window above it.

Standing Gutter - See "Yankee gutter."



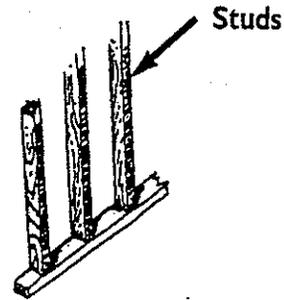
Stoop - An elevated, uncovered platform at the entrance to a building that is reached by a flight of stairs. An uncovered porch.

Stringer - Sloping wooden members that provide the main support for risers, treads and other parts of a staircase.



Stucco - Outside finish plaster material that is rich in portland cement.

Studs - Vertical framing members in a wood-framed building.



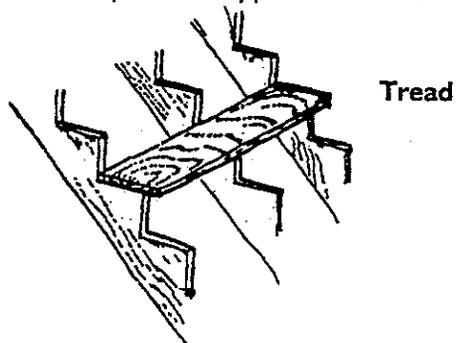
Terra Cotta - A fired clay building material.

Threshold - The bottom member of a door frame.

Transom - Small window, sometimes movable, located over a door or another window.



Tread - Called a step by many people, it is the horizontal part of a typical staircase.



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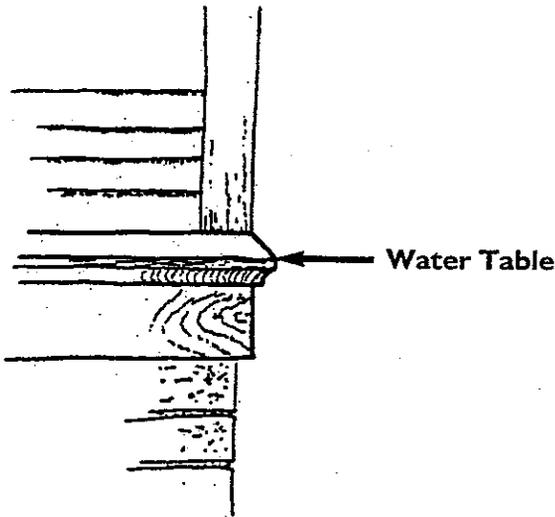
Glossary

Tuckpointing - Refilling deteriorated mortar joints with fresh mortar.

Turret - A small tower at the corner of a building that usually extends above the eaves line.

Vapor Barrier - Moisture-resistant material installed in a wall or on the ground to retard the passage of moisture.

Water Table - A projecting molding or angled strip located at the bottom of a wall that is designed to divert run-off water from the wall or masonry foundation below it.

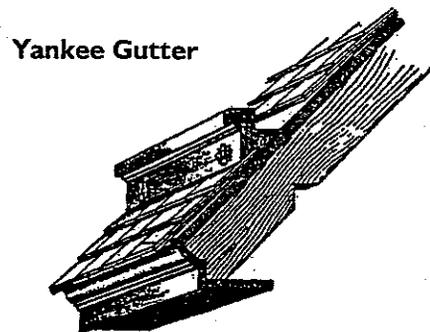
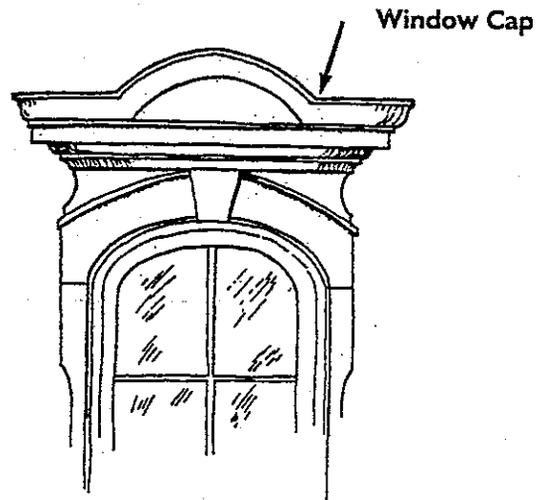


Window Cap - Decorative element that trims the top of a window surround.

Wythe - One unit thickness of a masonry wall.

Yankee Gutter - Also called a standing gutter, it is an archaic V-shaped gutter mounted on the surface of the roof about a foot above the roof edge used to collect rain water and divert it to a downspout. A

Yankee gutter allowed the full view of decorative or ornamental woodwork on the fascia.



Zinc - A rust-resistant metal. Sheet zinc was a popular building material for ornamental metal work 100 years ago. Zinc is also used as a thin coating or plating over steel nails or thin sheet steel to prevent rust. See "Galvanizing."